



1234 Main St.  
San Diego CA 92114

Prepared for:  
Client Name

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# Rating Information

- Functional:** Item/component was performing its function and its condition was appropriate for its age and use at the time of inspection. Although an item may be functional at the time of the inspection, regular maintenance and upkeep will be needed.
- Maintenance Item:** Item/component was functional overall, but was in need of normal maintenance and upkeep or was unconventional and needs examination by a qualified specialist.
- Monitor:** Item/component did not seem to be adversely and directly affecting the major components of the home at the time of the inspection, but should be monitored to ensure that changes, damage, or other issues do not occur. These items should be monitored and repaired as needed.
- Not Present:** Not present or visible at the time of the inspection.
- Not Inspected:** Not inspected due to conditions beyond the control and/or at the discretion of the inspector for safety reasons.
- Marginal:** Item/component was performing some or all of its functions, but not as intended, and/or it's condition was not appropriate for its age and use. Requires repair or maintenance to become fully functional. Cost estimates may be required by a qualified specialist and are at the discretion of the client if estimates will be obtained.
- Defective:** Item/component was not performing its function and/or its condition was not appropriate for its age or use and will require repairs or replacement. Item was considered defective in the opinion of the inspector - evaluation by a qualified specialist is recommended.
- Hazardous:** An imminent threat or danger to the safety, health, or the life of occupants of the property was noted.DONOT USE UNTIL HAZARD IS REMOVED.

# Exterior

## GFCIs & Electrical

**Defective**

I observed indications that there was a missing electrical receptacle outlet at the house exterior. At a minimum, there should be at least one receptacle in the front and back of the house.

I observed indications that a GFCI is missing in an area that is required to keep people safe.



I observed indications of a major defect during the inspection. Major defect. Hazard. Correction and further evaluation is recommended.

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# Electrical

## GFCIs

**Hazardous**

I observed indications that a GFCI is missing in an area that is required to keep people safe.



I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

---

## Attached Garage

### Electric in Garage

**Defective**

I observed a receptacle in the attached garage without GFCI (or ground fault circuit interrupter) protection. GFCI protection is required for all 15- and 20-amp receptacles, including outlets for refrigerators, garage door openers, and washing machines.



I observed loose electrical lines, exposed and unprotected, in the garage. Not professionally installed. Potentially hazardous.



## Kitchen

GFCI

**Defective**

I observed indications of missing GFCI protection in the kitchen. All kitchen counter receptacles are required to be GFCI protected.



## AFCI

### Defective

I observed indications of missing AFCI protection in the kitchen.  
All wall kitchen receptacles should be AFCI protected. Kitchen counter receptacles should be GFCI protected.



# Roof

## Roof Covering

### Monitor

#### Type of Roof-Covering Described

Asphalt

#### Roof Was Inspected

Ladder

I observed the roof-covering material and attempted to identify its type.

This inspection is not a guarantee that a roof leak in the future will not happen. Roofs leak. Even a roof that appears to be in good, functional condition will leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system.

We attempted to inspect the roof from various locations and methods, including from the ground and a ladder. The inspection was not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

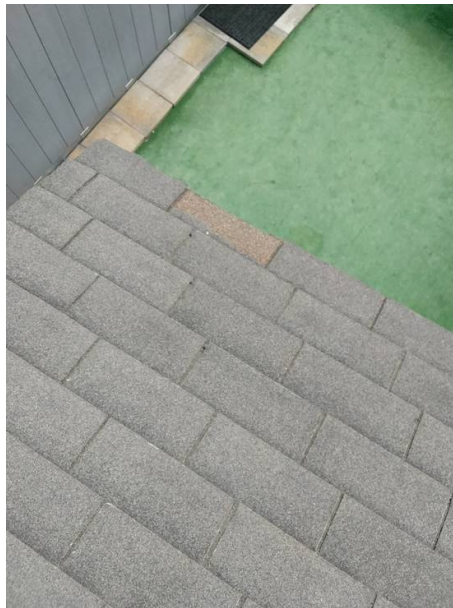
I observed indications of exposed fasteners at the roof-covering materials. Fasteners should not be exposed. Potential water entry points. Roof could leak. Further evaluation and correction is recommended.



I observed improper fastening at the roof-covering materials. Prone to leaking. Correction and further evaluation is recommended.



I observed areas of cracked/splitting and damaged roof-covering materials. This is a major defect. Prone to water leaking into the house. I recommend that a qualified roofing contractor to further evaluate and make repairs to the roof system,.



I observed during my inspection that the system appeared to be old and at the end of its service life. It may not be reliable. Ask the homeowner or occupant about its recent performance. Regular maintenance and monitoring of its condition is recommended. Budgeting for repairs and future replacement is recommended. [InterNACHI's Standard Estimate Life Expectancy Chart for Homes](#)

## Plumbing Vent Pipes

### Maintenance Item

I observed indications of a defect at the vent pipe flashing. Prone to water penetration or roof leak.

## Flue Gas Vent Pipes

### Maintenance Item

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# Exterior

## Walkways & Driveways

### Monitor

I observed indications of major cracking at the driveway.  
Correction and further evaluation is recommended.

I inspected the walkways and driveways that were adjacent to the house. The walkways, driveways, and parking areas that were far away from the house foundation were not inspected.

I observed indications of major cracking at the driveway.  
Correction and further evaluation is recommended.



I observed minor cracking and no major damage at the walkway.  
Monitoring is recommended.

I observed a trip hazard. This condition is a safety concern.  
Correction and further evaluation is recommended.



## Porches, Patios, Decks, Balconies & Carports

### Monitor

I inspected the porches, patios, decks, balconies and carports at the house that were within the scope of the home inspection.

## Exterior Doors

### Monitor

I inspected the exterior doors.

I observed wood rot at the exterior door.  
Correction and further evaluation is recommended.

I observed a defect at the screen door.  
Correction and further evaluation is recommended.



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## Plumbing

### Main Fuel Supply Shut-Off Valve

**Maintenance Item**

#### Location of Main Shut-Off Valve

Near Electric Meter

I observed some minor surface rust at the gas meter components. Monitoring recommended.

---

## Electrical

### Electric Meter & Base

**Maintenance Item**

I inspected the electrical electric meter and base.

### Electrical Wiring

**Monitor**

#### Type of Wiring, If Visible

NM-B (Romex)

I was unable to inspect all of the electrical wiring. Obviously, most of the wiring is hidden from view within walls. Beyond the scope of a visual home inspection.

# Attic, Insulation & Ventilation

## Insulation in Attic

### Monitor

During the home inspection, I inspected for insulation in unfinished spaces, including attics, crawlspaces and foundation areas. I inspected for ventilation of unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected mechanical exhaust systems in the kitchen, bathrooms and laundry area.

I attempted to describe the type of insulation observed and the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

I reported as in need of correction the general absence of insulation or ventilation in unfinished spaces.

I observed indications that the access to the attic was not insulated and sealed properly. This condition will create a heat/energy loss area. Adding insulation and air sealing at the attic access is recommended.



I recommend air sealing and adding insulation to the areas that need more insulation.



I observed indications of the general absence of insulation in the unfinished attic area.



## Ventilation in Attic

### Monitor

During the home inspection, I inspected for ventilation in unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected for mechanical exhaust systems.

I report as in need of correction the general absence of ventilation in unfinished spaces.

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# Bathrooms

## Cabinetry, Ceiling, Walls & Floor

### Monitor

I observed a loose cabinet door.



I observed damage at the bathroom ceiling.



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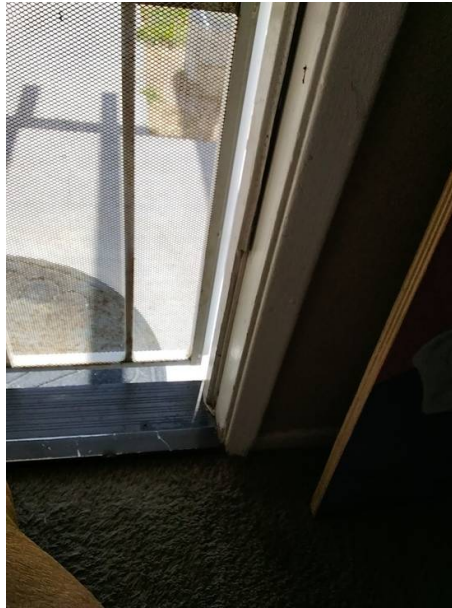
## Doors, Windows & Interior

## Doors

### Maintenance Item

I inspected a representative number of doors according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate door locks and door stops, which is beyond the scope of a home inspection.

I observed damage to the door.



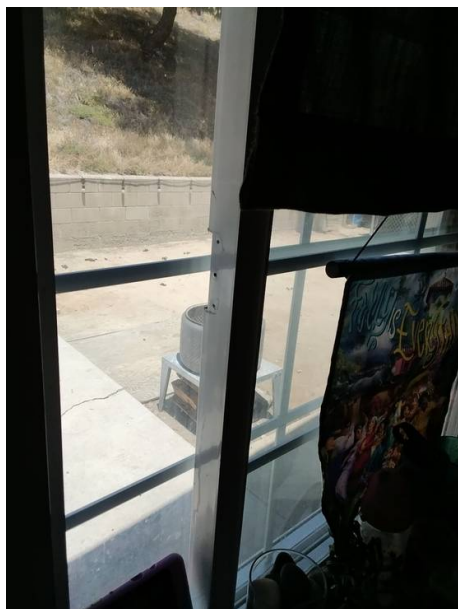
I observed missing weather stripping at the exterior door.

## Windows

### Monitor

I inspected a representative number of windows according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate window locks and operation features, which is beyond the scope of a home inspection.

I observed a missing lock at a window.



## Floors, Walls, Ceilings

### Maintenance Item

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#).

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## Attached Garage

### Garage Floor

#### Maintenance Item

I inspected the floor of the attached garage.

I can not observe everything. Inspection restrictions. My inspection was limited.

I observed indications that the floor surface of the garage is not sloped properly. The area of floor used for parking of automobiles or other vehicles must be sloped. It should slope toward the vehicle door opening. The sloped surface will help the movement of liquids to a drain or toward the main vehicle doorway of the carport.

I observed indications of cracks in the garage concrete floor.



## Ceiling, Walls & Firewalls in Garage

### Monitor

I inspected the ceiling and walls of the garage according to the Home Inspection Standards of Practice.

I inspected the door between the attached garage and the house.

The door should be a solid wood door at least 1-3/8 inches thick, a solid or honeycomb-core steel door at least 1-3/8 inches thick, or a 20-minute fire-rated door.

The door should be equipped with a self-closing or an automatic-closing device.



Garage wall had damaged drywall. Recommend drywall contractor repair.



Firewall separating the home and garage is not compliant with modern building standards. Firewalls should be built with materials to prevent the spreading of a fire into the home living space. Recommend a qualified contractor evaluate and bring firewall up to standards.

[Link for more info.](#)

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## Kitchen

## Kitchen Sink

### Monitor

I ran water at the kitchen sink.



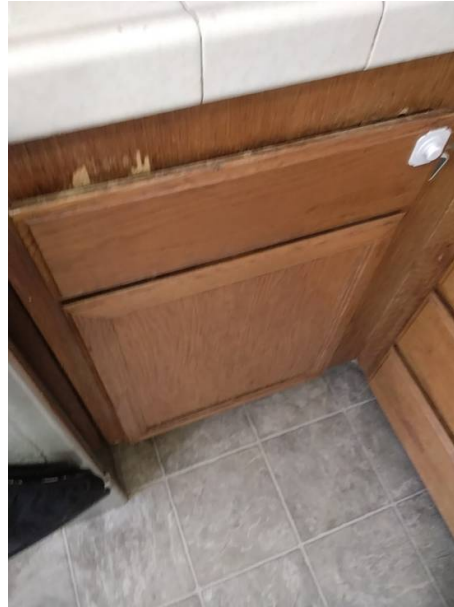
I observed indications of a defect at the kitchen sink.

## Countertops & Cabinets

### Monitor

I inspected a representative number of cabinets and countertop surfaces.

I observed worn areas and some damage at the cabinets.



I observed worn areas and some damage at the countertops.



I observed a loose cabinet door and hinge.



I observed damage at the countertop.



## Floors, Walls, Ceilings

### Maintenance Item

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#).

Floors in the home exhibited moderate surface wear along major paths of travel. Recommend a qualified flooring contractor evaluate for possible re-finish.

# Inspection Detail

## General Inspection Info

Today we are inspecting the Marissa Wilcox residence. Owner is on site and ready to answer any questions or concerns I might have , and to better explain issues I find in her home.

### Occupancy

Furnished

### In Attendance

Home Owner

### Type of Building

Single Family

### Weather Conditions

Cloudy, Dry, Warm



## Your Job As a Homeowner

Now that you've bought your home and had your inspection, you may still have some questions about your new house and the items revealed in your report.

Home maintenance is a primary responsibility for every homeowner, whether you've lived in several homes of your own or have just purchased your first one. Staying on top of a seasonal home maintenance schedule is important, and your InterNACHI Certified Professional Inspector can help you figure this out so that you never fall behind. Don't let minor maintenance and routine repairs turn into expensive disasters later due to neglect or simply because you aren't sure what needs to be done and when.

Your home inspection report is a great place to start. In addition to the written report, checklists, photos, and what the inspector said during the inspection not to mention the seller's disclosure and what you noticed yourself it's easy to become overwhelmed. However, it's likely that your inspection report included mostly maintenance recommendations, the life expectancy for the home's various systems and components, and minor imperfections. These are useful to know about.

### But the issues that really matter fall into four categories:

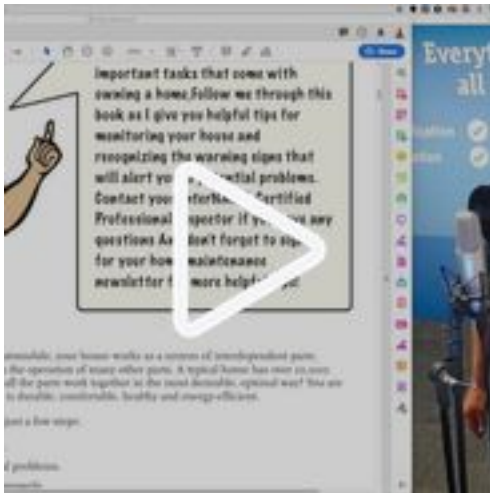
1. major defects, such as a structural failure;
2. things that can lead to major defects, such as a small leak due to a defective roof flashing;
3. things that may hinder your ability to finance, legally occupy, or insure the home if not rectified immediately; and

4. safety hazards, such as an exposed, live buss bar at the electrical panel.

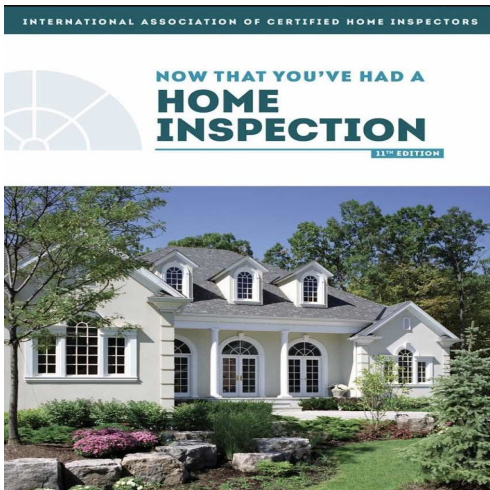
Anything in these categories should be addressed as soon as possible. Often, a serious problem can be corrected inexpensively to protect both life and property (especially in categories 2 and 4).

Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. It's important to realize that sellers are under no obligation to repair everything mentioned in your inspection report. No house is perfect. Keep things in perspective as you move into your new home.

And remember that homeownership is both a joyful experience and an important responsibility, so be sure to call on your InterNACHI Certified Professional Inspector to help you devise an annual maintenance plan that will keep your family safe and your home in good condition for years to come.

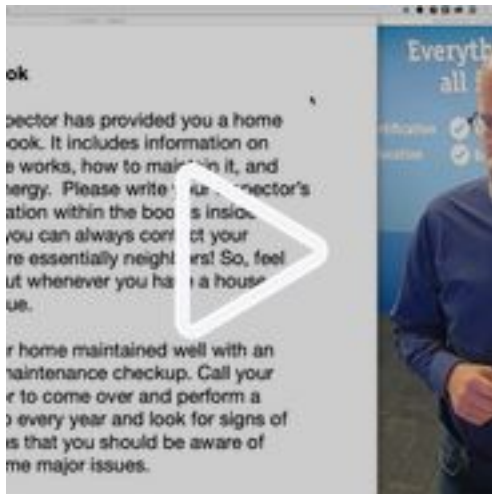


## Read Your Book



I have provided you with a home maintenance book. It includes information on how your home works, how to maintain it, and how to save energy. Please write my contact information within the book's inside cover, so that you can always contact me.

**We're neighbors!** So, feel free to reach out whenever you have a house question or issue.



**Schedule a Home Maintenance Inspection**



Even the most vigilant homeowner can, from time to time, miss small problems or forget about performing some routine home repairs and seasonal maintenance. That's why an Annual Home Maintenance Inspection will help you keep your home in good condition and prevent it from suffering serious, long-term and expensive damage from minor issues that should be addressed now.

The most important thing to understand as a new homeowner is that your house requires care and regular maintenance. As time goes on, parts of your house will wear out, break down, deteriorate, leak, or simply stop working. But none of these issues means that you will have a costly disaster on your hands if you're on top of home maintenance, and that includes hiring an expert once a year.

Just as you regularly maintain your vehicle, consider getting an Annual Home Maintenance Inspection as part of the cost of upkeep for your most valuable investment your home.

Your InterNACHI-Certified Professional Inspector can show you what you should look for so that you can be an informed homeowner. Protect your family's health and safety, and enjoy your home for years to come by having an Annual Home Maintenance Inspection performed every year.

**Schedule next year's maintenance inspection** with your home inspector today!

Every house should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.



**\$25,000 Honor Guarantee**

★ **\$25,000** ★



InterNACHI is so certain of the integrity of our members that we back them up with our **\$25,000 Honor Guarantee**. InterNACHI will pay up to \$25,000 USD for the cost of replacement of personal property lost during an inspection and stolen by an InterNACHI-certified member who was convicted of or pleaded guilty to any criminal charge resulting from the member's taking of the client's personal property. For details, please visit [www.nachi.org/honor](http://www.nachi.org/honor).

# Roof

## Roof Covering

Monitor

### Type of Roof-Covering Described

Asphalt

### Roof Was Inspected

Ladder

I observed the roof-covering material and attempted to identify its type.

This inspection is not a guarantee that a roof leak in the future will not happen. Roofs leak. Even a roof that appears to be in good, functional condition will leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system.

We attempted to inspect the roof from various locations and methods, including from the ground and a ladder. The inspection was not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

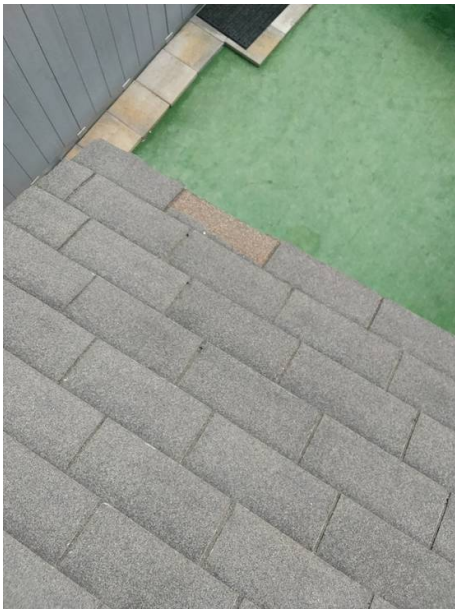
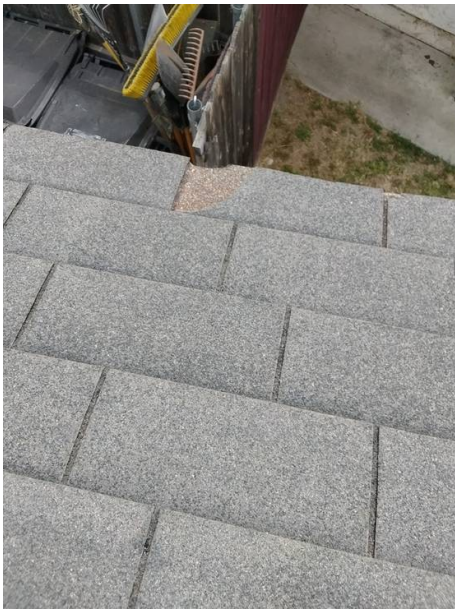
I observed indications of exposed fasteners at the roof-covering materials. Fasteners should not be exposed. Potential water entry points. Roof could leak. Further evaluation and correction is recommended.



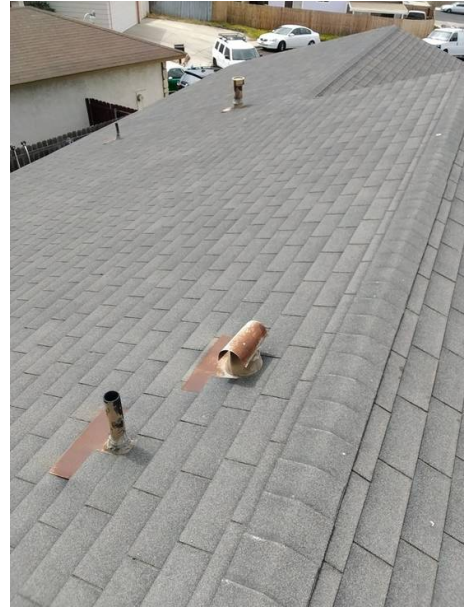
I observed improper fastening at the roof-covering materials. Prone to leaking. Correction and further evaluation is recommended.



I observed areas of cracked/splitting and damaged roof-covering materials. This is a major defect. Prone to water leaking into the house. I recommend that a qualified roofing contractor to further evaluate and make repairs to the roof system,.



I observed during my inspection that the system appeared to be old and at the end of its service life. It may not be reliable. Ask the homeowner or occupant about its recent performance. Regular maintenance and monitoring of its condition is recommended. Budgeting for repairs and future replacement is recommended. [InterNACHI's Standard Estimate Life Expectancy Chart for Homes](#)



Flashing

Functional

I observed areas where flashing was missing. Not installed. Improper installation of flashing. These areas of missing flashing are prone to water penetration. Flashing is installed to provide protection against roof leaks and to divert water away from certain areas. Correction and further evaluation is recommended.

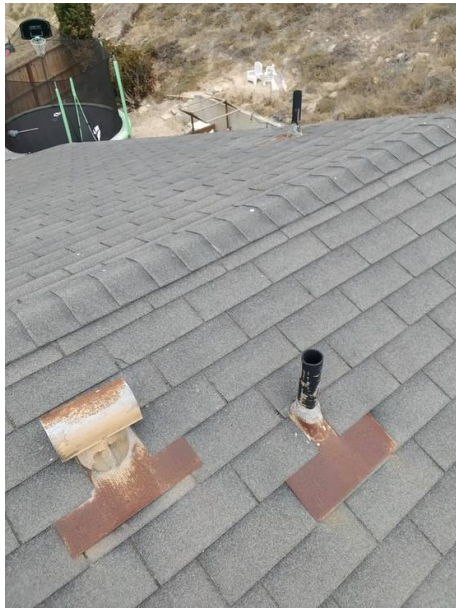




**Plumbing Vent Pipes**

**Maintenance Item**

I observed indications of a defect at the vent pipe flashing. Prone to water penetration or roof leak.



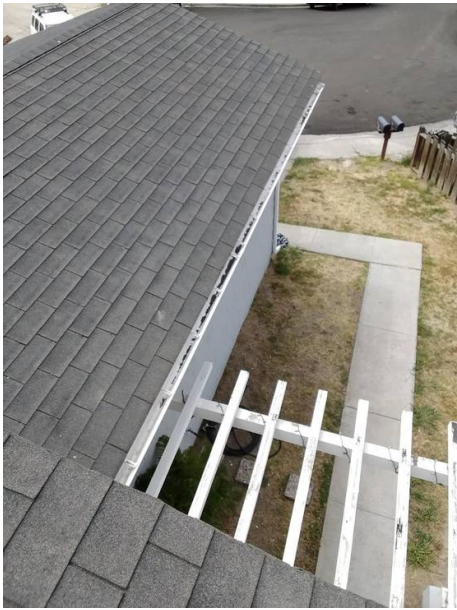
**Flue Gas Vent Pipes**

**Maintenance Item**



Gutters & Downspouts

Functional



# Exterior

## General

### Functional

I inspected the exterior of the house.

## Eaves, Soffits & Fascia

### Functional

I inspected the eaves, soffits and fascia. I was not able to inspect every detail, since a home inspection is limited in its scope.



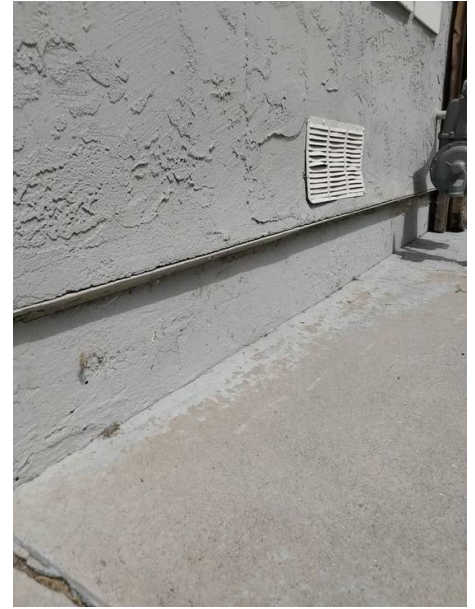


Wall-Covering, Flashing & Trim

Functional

Type of Wall-Covering Material Described  
Various Materials





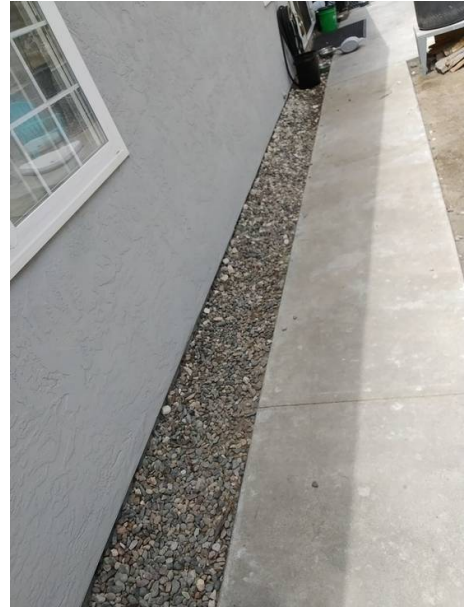
**Vegetation, Surface Drainage, Retaining Walls & Grading**

**Functional**

I inspected the vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

I observed that the condition of the fence in many areas is poor.



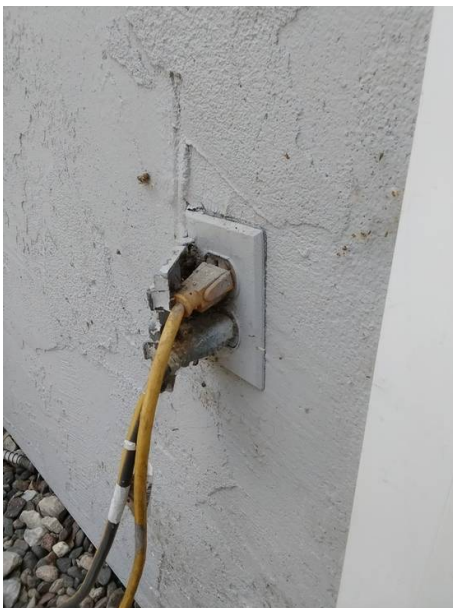


GFCIs & Electrical

Defective

I observed indications that there was a missing electrical receptacle outlet at the house exterior. At a minimum, there should be at least one receptacle in the front and back of the house.

I observed indications that a GFCI is missing in an area that is required to keep people safe.



I observed indications of a major defect during the inspection. Major defect. Hazard. Correction and further evaluation is recommended.

## Walkways & Driveways

### Monitor

I observed indications of major cracking at the driveway.  
Correction and further evaluation is recommended.

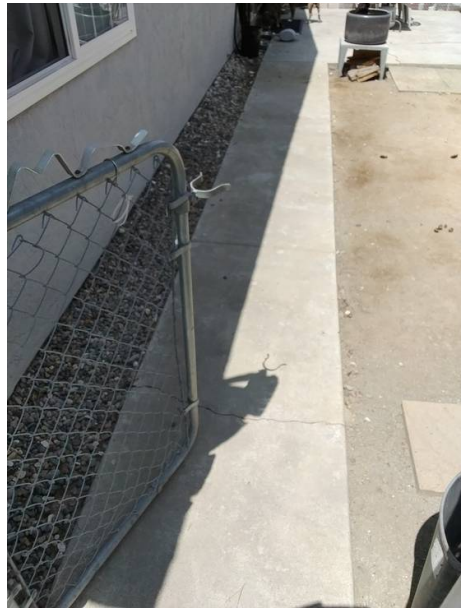
I inspected the walkways and driveways that were adjacent to the house. The walkways, driveways, and parking areas that were far away from the house foundation were not inspected.

I observed indications of major cracking at the driveway.  
Correction and further evaluation is recommended.



I observed minor cracking and no major damage at the walkway.  
Monitoring is recommended.

I observed a trip hazard. This condition is a safety concern.  
Correction and further evaluation is recommended.



**Porches, Patios, Decks, Balconies & Carports**

**Monitor**

I inspected the porches, patios, decks, balconies and carports at the house that were within the scope of the home inspection.



## Windows

Functional

A representative number of windows from the ground surface was inspected.



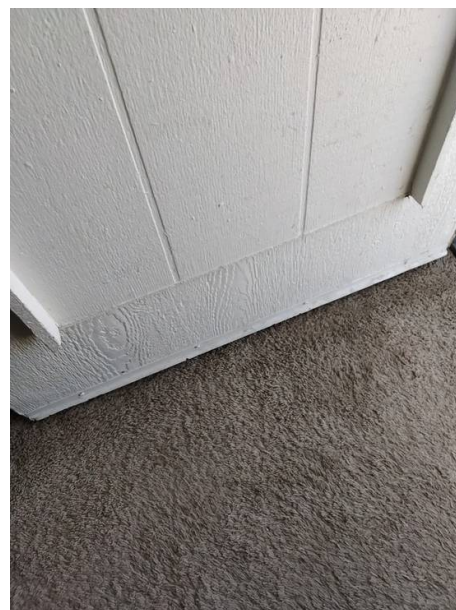
## Exterior Doors

Monitor

I inspected the exterior doors.

I observed wood rot at the exterior door.  
Correction and further evaluation is recommended.

I observed a defect at the screen door.  
Correction and further evaluation is recommended.



## Exhaust Hoods

Functional



# Basement, Foundation, Crawlspace & Structure

## Insulation in Foundation/Basement Area

Not Present

## Ventilation in Foundation/Basement Area

Functional

### Insulation Type

Loose-fill

### Attic Insulation Thickness

1-3 inches

Determining how much insulation should be installed in a house depends upon where a home is located. proper amount of insulation should be installed at a particular area of a house is dependent upon which climate zone the house is located.

This house is located in a climate zone that requires an R-value of 20 to 60 which is the very least to the most in our state.

# Heating

## Heating System Information

**Functional**

### Energy Source

Gas

### Heating Method

Warm-Air Heating System

The heating system was inaccessible. The inspection was restricted and limited. Correction and further evaluation is recommended.





# Thermostat and Normal Operating Controls

Functional

## Thermostat Location

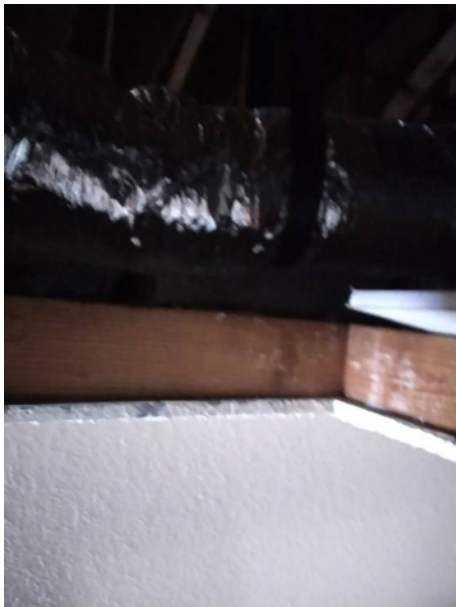
Living room



# Ductwork

Functional

I observed ductwork in the house. Warm-air heating systems, including heat pump systems, use ductwork to distribute the warm air throughout the house. I will attempt to determine if the each room has a heat source, but I may not be able to find every duct register.



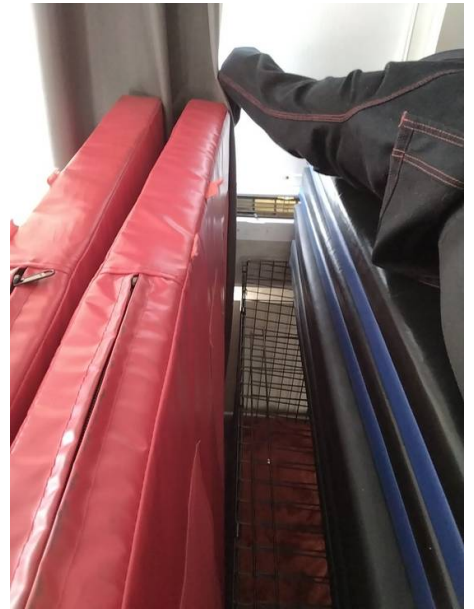
# Cooling

## Cooling System Information

Functional

Most air-conditioning systems in houses are relatively simple in design and operation. The adequacy of the cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

**It's your job** to get the air conditioning system inspected and serviced every year. And if you're system as an air filter, be sure to keep that filter cleaned.



## Thermostat and Normal Operating Controls

Not Present

## Ductwork

Not Present

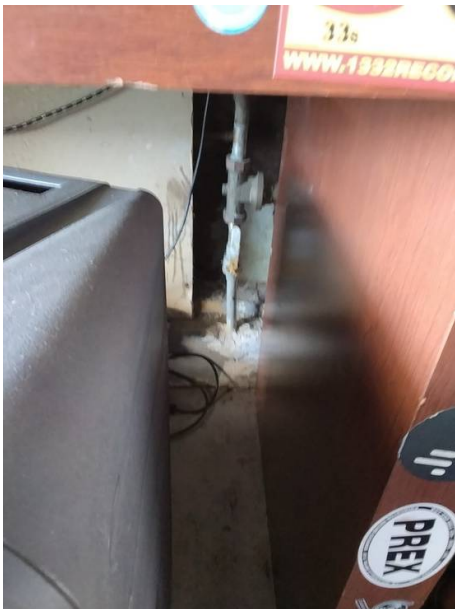
**Ductwork Installed**  
Insulated

# Plumbing

## Main Water Shut-Off Valve

Functional

I observed indications of a missing bonding jumper cable that should be installed over the water meter.



## Water Supply

Functional

The water supply to the house appeared to be from the public water supply source based upon the observed indications at the time of the inspection. To confirm and be certain, I recommend asking the homeowner for details.



# **Main Fuel Supply Shut-Off Valve**

**Maintenance Item**

## **Location of Main Shut-Off Valve** Near Electric Meter

I observed some minor surface rust at the gas meter components. Monitoring recommended.



# Hot Water Source

Functional

## Type of Hot Water Source

Gas-Fired Hot Water Tank

I inspected for the main source of the distributed hot water to the plumbing fixtures (sinks, tubs, showers). I recommend asking the homeowner for details about the hot water equipment and past performance.



I inspected the hot water source and equipment according to the [Home Inspection Standards of Practice](#).

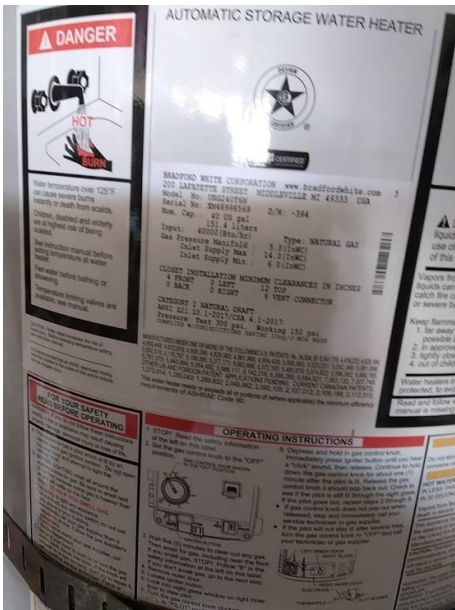
I inspected the temperature and pressure relief valve.



I inspected the venting connections.



I inspected the seismic bracing for the hot water tank.



# Drain, Waste, & Vent Systems

Functional

# Water Supply & Distribution Systems

Functional

I attempted to inspect the water supply and distribution pipes (plumbing pipes). Not all of the pipes and components were accessible and observed. Inspection restriction. Ask the homeowner about water supply, problems with water supply, and water leaks in the past.

The inspection was restricted because not all of the water supply pipes were exposed, readily accessible, and observed. For example, most of the water distribution pipes, valves and connections were hidden within the walls.

# Electrical

## Service Drop

Not Present

## Overhead Service Conductors & Attachment Point

Not Present

## Service Head, Gooseneck & Drip Loops

Not Present

## Service Mast, Service Conduit & Raceway

Not Present

## Electric Meter & Base

Maintenance Item

I inspected the electrical electric meter and base.



## Service-Entrance Conductors

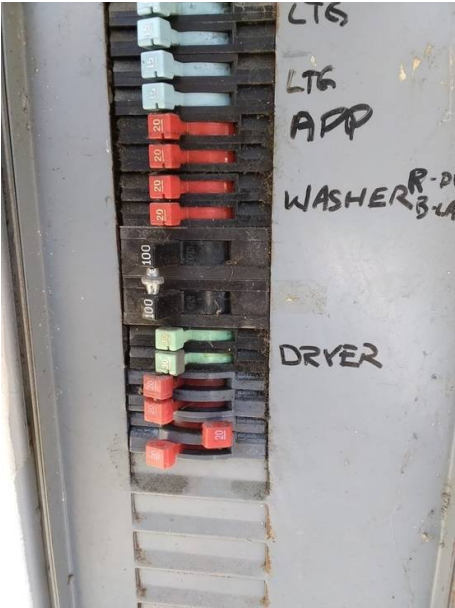
Not Inspected

## Main Service Disconnect

Functional

**Main Disconnect Rating, If Labeled**  
100

I inspected the electrical main service disconnect.



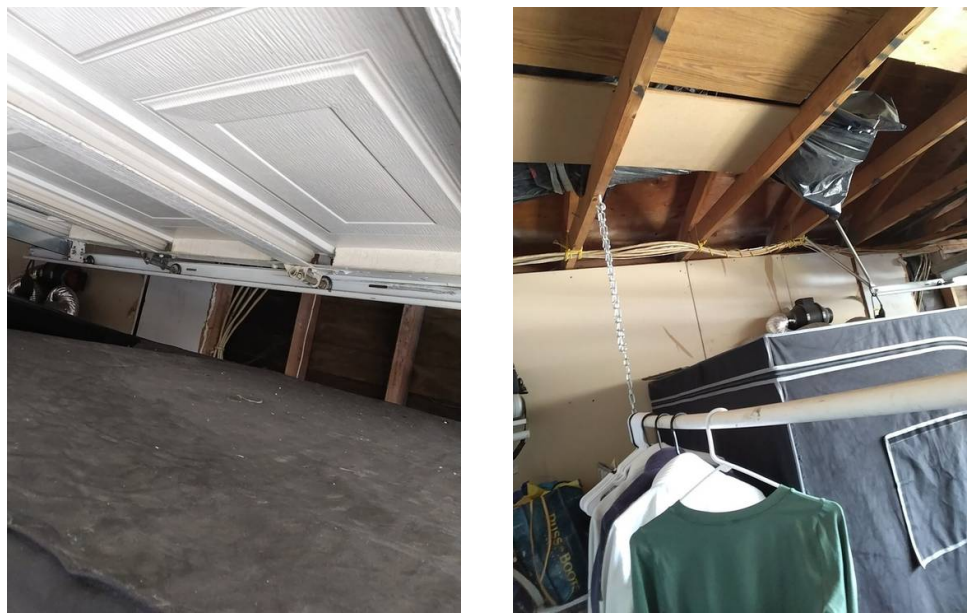
I observed indications of the main service disconnect's amperage rating. It was labeled.



**Electrical Wiring**  
**Monitor**

**Type of Wiring, If Visible**  
NM-B (Romex)

I was unable to inspect all of the electrical wiring. Obviously, most of the wiring is hidden from view within walls. Beyond the scope of a visual home inspection.



## Panelboards & Breakers

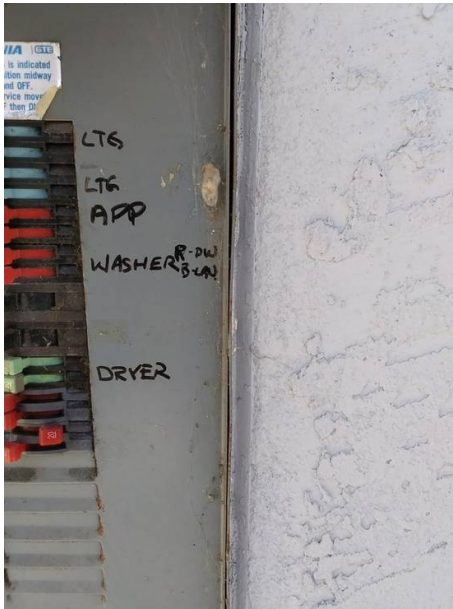
Functional

I observed a breaker in the "off" position prior to inspecting the electrical panel. Recommend asking the homeowner what this breaker is connected to, and why it is off.

I inspected the electrical panelboards and over-current protection devices (circuit breakers and fuses).



I observed missing/inadequate identification of each circuit.  
Each circuit must be clearly identified as to its purpose. No two circuits should be labeled the same.



## Service Grounding & Bonding

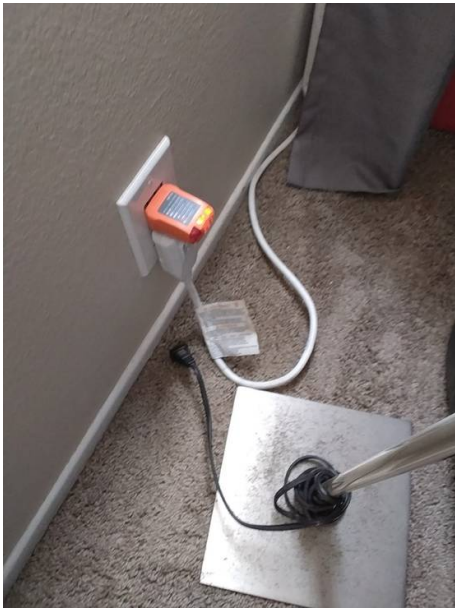
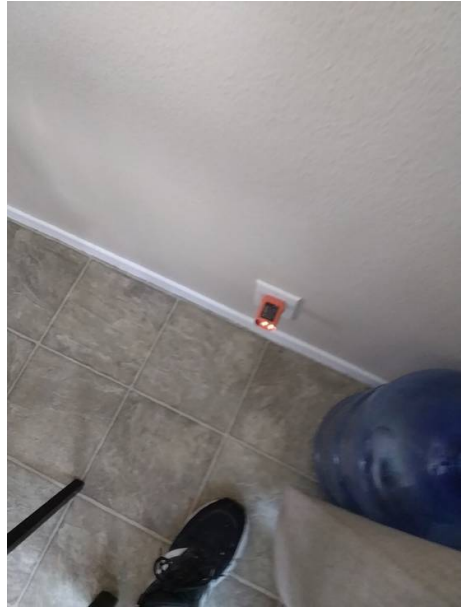
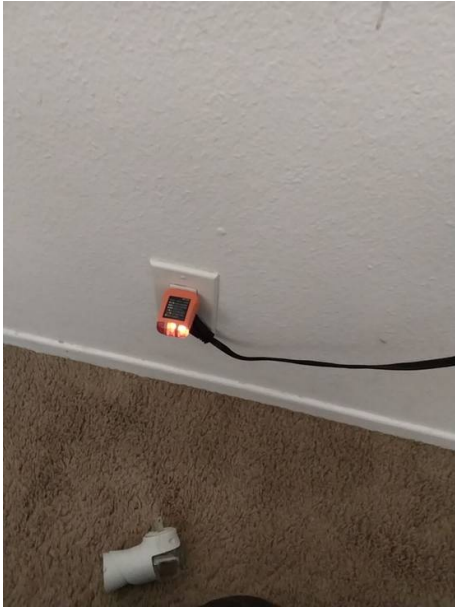
Not Inspected

## AFCIs

Functional

I was unable to inspect every electrical component or proper installation of the AFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

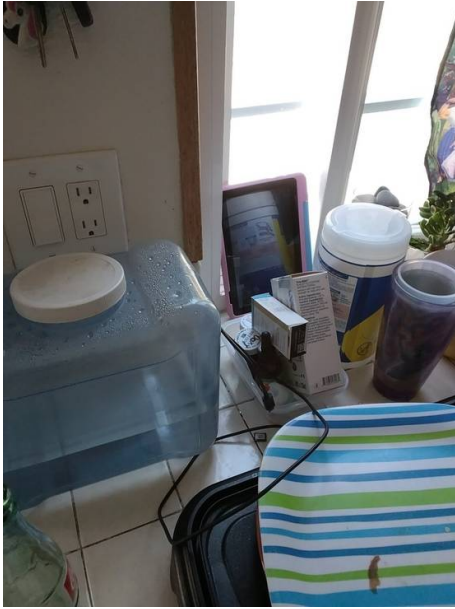
I inspected receptacles observed that were deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible.



**GFCIs**

**Hazardous**

I observed indications that a GFCI is missing in an area that is required to keep people safe.



I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

# Attic, Insulation & Ventilation

## Structural Components & Observations in Attic

**Not Inspected**

I could not see and inspect everything in the attic space. The access is restricted and my inspection is limited.

I observed a lack of lighting for the attic storage area.  
Areas used for storage require a switched lighting outlet.

## Insulation in Attic

**Monitor**

During the home inspection, I inspected for insulation in unfinished spaces, including attics, crawlspaces and foundation areas. I inspected for ventilation of unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected mechanical exhaust systems in the kitchen, bathrooms and laundry area. I attempted to describe the type of insulation observed and the approximate average depth of insulation observed at the unfinished attic floor area or roof structure. I reported as in need of correction the general absence of insulation or ventilation in unfinished spaces.

I observed indications that the access to the attic was not insulated and sealed properly. This condition will create a heat/energy loss area. Adding insulation and air sealing at the attic access is recommended.



I recommend air sealing and adding insulation to the areas that need more insulation.



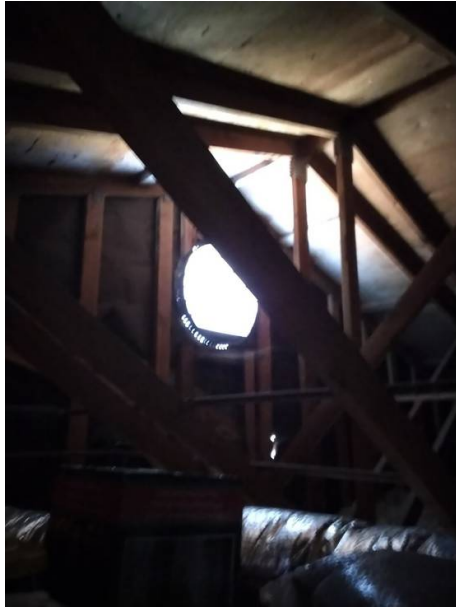
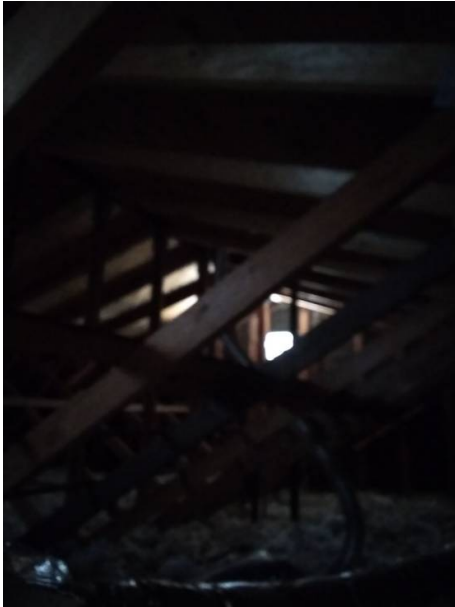
I observed indications of the general absence of insulation in the unfinished attic area.



### Ventilation in Attic

**Monitor**

During the home inspection, I inspected for ventilation in unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected for mechanical exhaust systems.  
I report as in need of correction the general absence of ventilation in unfinished spaces.



Mechanical Exhaust System

Functional

Exhaust Fans  
Fan with Light

I inspected the mechanical exhaust system in the kitchen.



I inspected the mechanical exhaust system in the bathrooms.



# Bathrooms

## Bathroom Toilets

**Functional**

I flushed all of the toilets.



## Sinks, Tubs & Showers

**Functional**

I ran water at all bathroom sinks, bathtubs, and showers. I inspected for deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously.



### Bathroom Exhaust Fan / Window

Functional

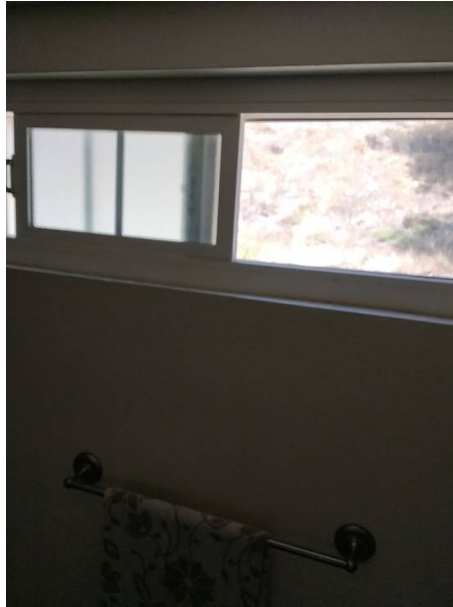
I inspected the exhaust fans of the bathroom(s). All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.



I observed that the bathroom does not have a mechanical exhaust fan installed. Regardless of what kind of ventilation system may be installed for the rest of the house, exhaust fans are recommended in the bathrooms to remove excess moisture, cleaning chemical fumes, etc. The fan should be ducted to exhaust outside of the home.

I observed indications of excessive moisture and condensation in the bathroom. Warm, moist air may condense on cold surfaces in the bathroom. If mold develops, it may cause health problems for sensitive occupants. Condensation could cause damage to the walls or surface materials.

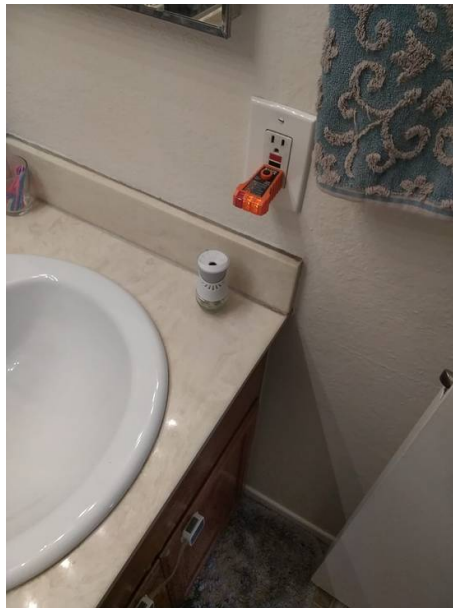
I observed indications of excessive moisture or water intrusion at a window. Further evaluation is recommended.



GFCI & Electric in Bathroom

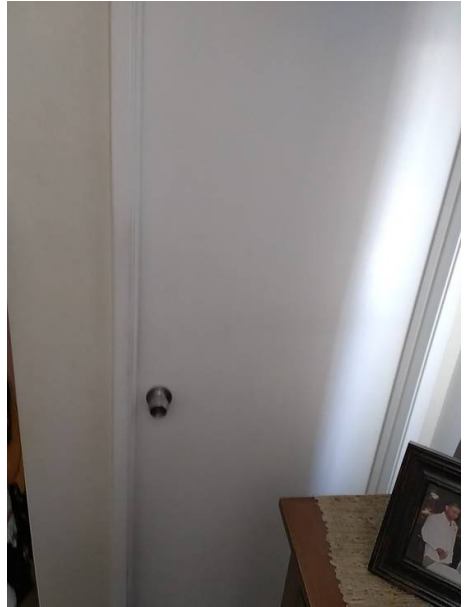
Functional

I inspected the GFCI-protection at the receptacle near the bathroom sink by pushing the test button at the GFCI device or using a GFCI testing instrument.  
All receptacles in the bathroom must be GFCI protected.



Door

Functional



**Cabinetry, Ceiling, Walls & Floor**

**Monitor**

I observed a loose cabinet door.



I observed damage at the bathroom ceiling.





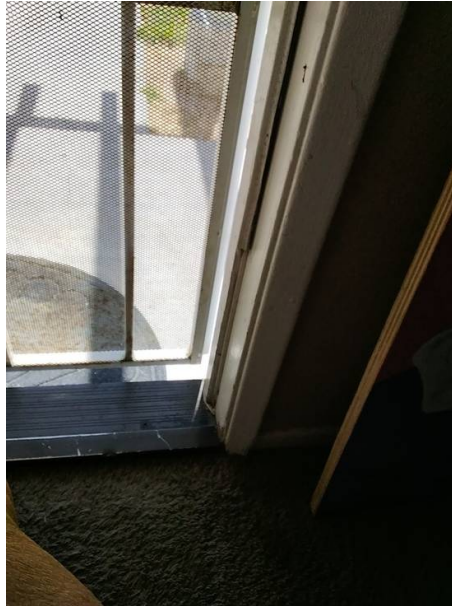
# Doors, Windows & Interior

## Doors

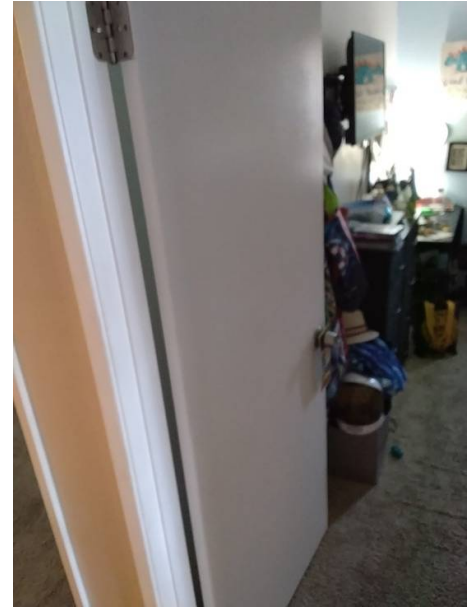
### Maintenance Item

I inspected a representative number of doors according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate door locks and door stops, which is beyond the scope of a home inspection.

I observed damage to the door.



I observed missing weather stripping at the exterior door.



# Windows

## Monitor

I inspected a representative number of windows according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate window locks and operation features, which is beyond the scope of a home inspection.

I observed a missing lock at a window.





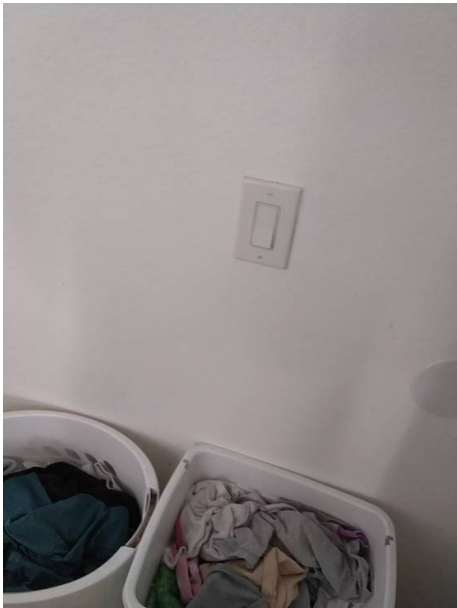
### Switches, Fixtures & Receptacles

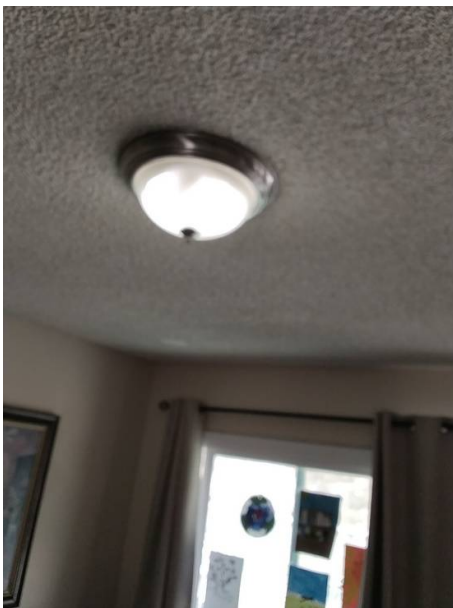
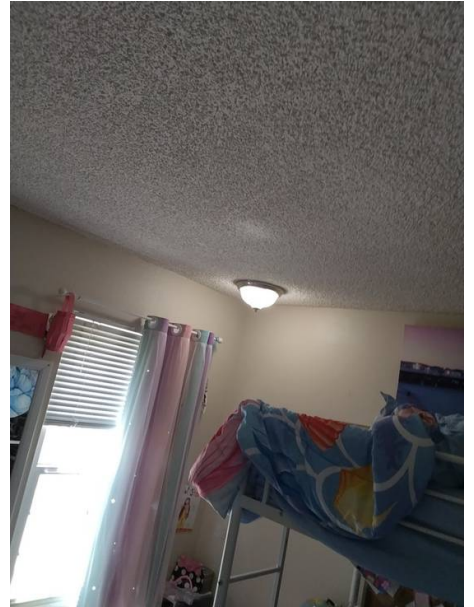
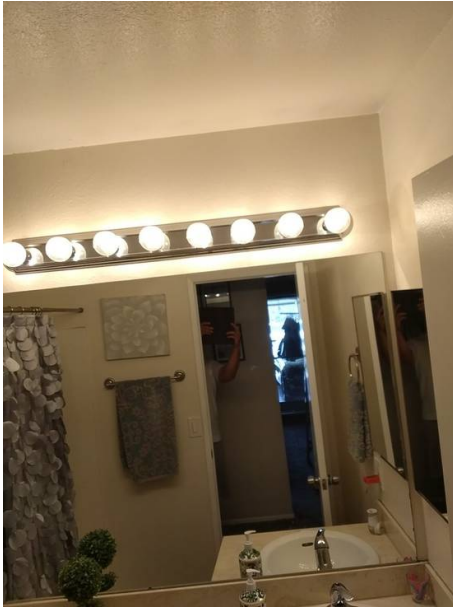
**Functional**

I was unable to inspect every electrical component or proper installation of the system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

I inspected a representative number of switches, lighting fixtures and receptacles.

I observed a lack of wall receptacles.  
A receptacle should be no more than 6 feet apart along the wall.

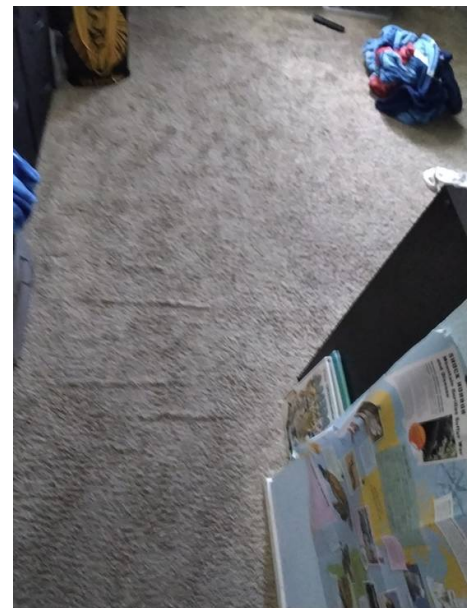
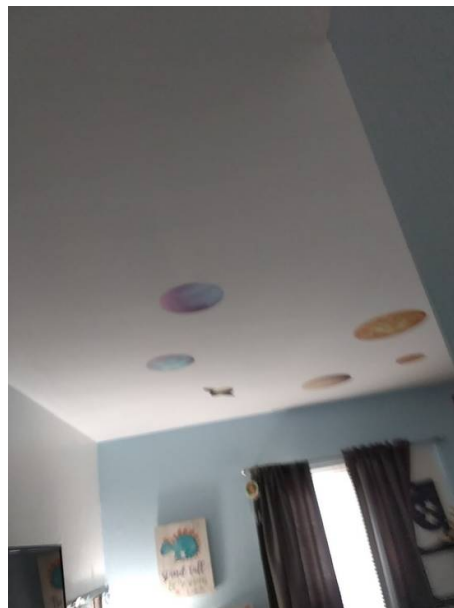
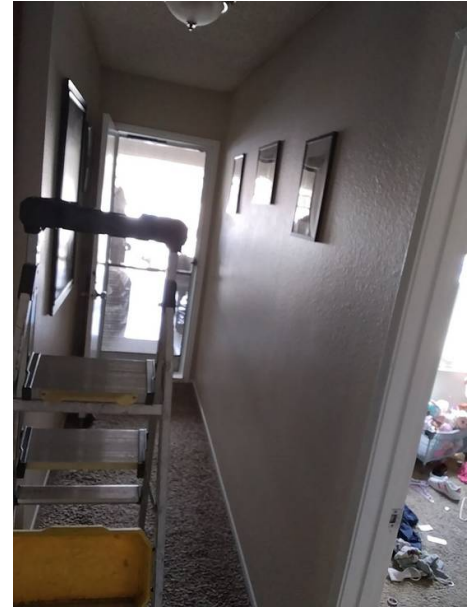




# Floors, Walls, Ceilings

## Maintenance Item

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#).



## Presence of Smoke and CO Detectors

Functional

I observed indications of old smoke detectors in the house. Detectors should be replaced every 5-10 years. They should be hard-wired with electricity and have a battery backup feature in case the electricity turns off. New smoke detectors are recommended.



I was unable to test every detector. We recommend testing all of the detectors. Ask the seller about the performance of the detectors and of any issues regarding them. We recommend replacing all of the detectors (smoke and carbon monoxide) with new ones just for peace of mind and for safety concerns.

I inspected for the presence of smoke and carbon-monoxide detectors. There should be a smoke detector in every sleeping room, outside of every sleeping room, and one every level of a house.



# Attached Garage

## Garage Vehicle Door

Functional

## Garage Floor

Maintenance Item

I inspected the floor of the attached garage.

I can not observe everything. Inspection restrictions. My inspection was limited.

I observed indications that the floor surface of the garage is not sloped properly.

The area of floor used for parking of automobiles or other vehicles must be sloped. It should slope toward the vehicle door opening. The sloped surface will help the movement of liquids to a drain or toward the main vehicle doorway of the carport.

I observed indications of cracks in the garage concrete floor.



## Garage Vehicle Door Opener

Functional

I inspected the garage door panels.

I observed a spring warning label attached to the spring assembly or the back of the door panel. Good.

I observed a general warning label attached to the back of the door panel. Good.

I observed two warning labels attached to the door in the vicinity of the bottom corner brackets. Some newer doors

have tamper-resistant bottom corner brackets that do not require these warning labels.

I observed a warning label near the wall control button. Good.

I closed the door and checked the springs for damage. If a spring was broken, operating the door can cause serious injury or death. I would not operate the door if there was damage.

I visually checked the doors hinges, brackets and fasteners. If the door had an opener, the door must have an opener-reinforcement bracket that is securely attached to the doors top section. The header bracket of the opener rail must be securely attached to the wall or header using lag bolts or concrete anchors.

If the door has extension springs, I inspect for spring containment. Extension springs should be contained by a cable that runs through the center of the springs. If a spring breaks, containment helps to prevent broken parts from flying around dangerously in the garage.



I inspected the wall button. The wall button should be at least 5 feet above the standing surface, and high enough to be out of reach of small children. I pressed the push button to see if it successfully operated the door.



I observed the auto-reverse feature during a non-contact test. Standing inside the garage but safely away from the path of the door, I used the remote control or wall button to close the door. As the door was closing, I waved an object in the path of the photoelectric eye beam. The door should automatically reverse.

I inspected the photo-electric eyes. Federal law states that residential garage door openers manufactured after 1992 must be equipped with photo-electric eyes or some other safety-reverse feature that meets UL 325 standards. I checked to see if photo-electric eyes are installed. The vertical distance between the photo-eye beam and the floor should be no more than 6 inches.



# Electric in Garage

Defective

I observed a receptacle in the attached garage without GFCI (or ground fault circuit interrupter) protection. GFCI protection is required for all 15- and 20-amp receptacles, including outlets for refrigerators, garage door openers, and washing machines.



I observed loose electrical lines, exposed and unprotected, in the garage. Not professionally installed. Potentially hazardous.



## Ceiling, Walls & Firewalls in Garage

**Monitor**

I inspected the ceiling and walls of the garage according to the Home Inspection Standards of Practice.

I inspected the door between the attached garage and the house.  
The door should be a solid wood door at least 1-3/8 inches thick, a solid or honeycomb-core steel door at least 1-3/8 inches thick, or a 20-minute fire-rated door.

The door should be equipped with a self-closing or an automatic-closing device.



Garage wall had damaged drywall. Recommend drywall contractor repair.



Firewall separating the home and garage is not compliant with modern building standards. Firewalls should be built with materials to prevent the spreading of a fire into the home living space. Recommend a qualified contractor evaluate and bring firewall up to standards.

[Link for more info.](#)

## Moisture Intrusion in Garage

**Not Present**

# Kitchen

## Kitchen Sink

Monitor

I ran water at the kitchen sink.



I observed indications of a defect at the kitchen sink.



## Garbage Disposal

Functional

I turned on the garbage disposal.



## GFCI

**Defective**

I observed indications of missing GFCI protection in the kitchen. All kitchen counter receptacles are required to be GFCI protected.





**AFCI**

**Defective**

I observed indications of missing AFCI protection in the kitchen.  
All wall kitchen receptacles should be AFCI protected. Kitchen counter receptacles should be GFCI protected.





## Exhaust Fan

Functional

I inspected the exhaust fan in the kitchen. All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.



## Countertops & Cabinets

Monitor

I inspected a representative number of cabinets and countertop surfaces.

I observed worn areas and some damage at the cabinets.



I observed worn areas and some damage at the countertops.



I observed a loose cabinet door and hinge.



I observed damage at the countertop.

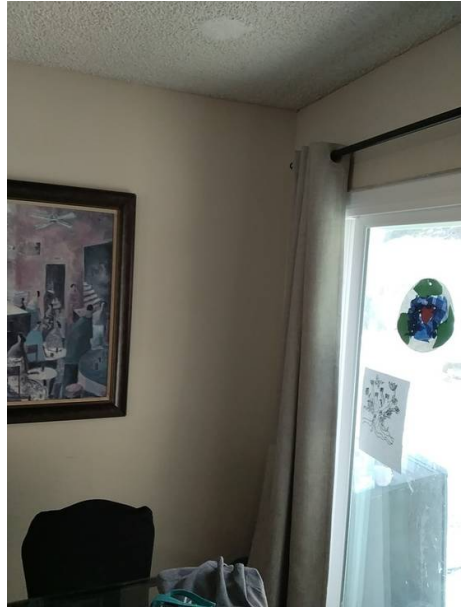


## Floors, Walls, Ceilings

### Maintenance Item

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#).

Floors in the home exhibited moderate surface wear along major paths of travel. Recommend a qualified flooring contractor evaluate for possible re-finish.



Windows

Functional

I observed a missing lock at a window.





Lighting  
Functional

